

Drain: CENTENNIAL DRAIN **Drain #:** 315
Improvement/Arm: CENTENNIAL TOWN HOME - SECTION 2
Operator: JOH **Date:** 12-10-03
Drain Classification: Urban/Rural **Year Installed:** 2002

GIS Drain Input Checklist

- Pull Source Documents for Scanning JPA 12-10
- Digitize & Attribute Tile Drains N/A
- Digitize & Attribute Storm Drains JPA 12-10
- Digitize & Attribute SSD N/A
- Digitize & Attribute Open Ditch N/A
- Stamp Plans JPA 12-10
- Sum drain lengths & Validate JPA 12-10
- Enter Improvements into Posse JPA 12-10
- Enter Drain Age into Posse _____
- Sum drain length for Watershed in Posse _____
- Check Database entries for errors JPA 12-10

Gasb 34 Footages for Historical Cost
Drain Length Log

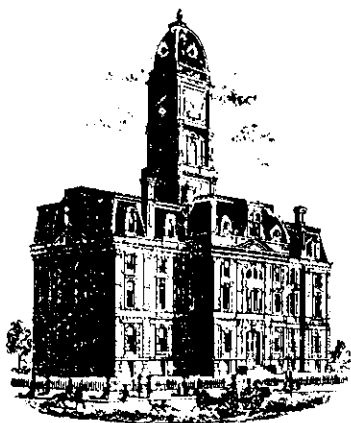
Drain-Improvement: CENTENNIAL DRAIN - CENTENNIAL TOWNSHIP - SECTION 2

Drain Type:	Size:	Length <i>SURVEYORS</i> (26000)	Length (DB Query)	Length Reconcile	Applicable	
					Price:	Cost:
RCP	12"	143'	142'	-1'		
	15"	26'	26'	∅		
	18"	153'	153'	∅		
	24"	336'	336'	∅		
	30"	282'	282'	∅		
Sum:		<u>940'</u>	<u>939'</u>	<u>-1'</u>		

Final Report: _____

Comments:

SURVEYOR'S REPORT SHOWS INCORRECT LENGTH FOR 12" PIPE



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 188

One Hamilton County Square
Noblesville, Indiana 46060-2230

August 21, 2002

To: Hamilton County Drainage Board

Re: Centennial Drain, Centennial Townhomes Phase II Arm

Attached is a petition, non-enforcement request, plans, calculations, quantity summary and assessment roll for the Centennial Townhomes Phase II Arm, Centennial Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages, and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

12" RCP	141 ft	18" RCP	154 ft	30" RCP	291 ft
15" RCP	22 ft	24" RCP	448 ft		

The total length of the drain will be 1,056 feet.

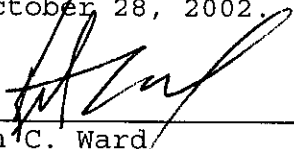
I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$50.00 per lot, \$5.00 per acre for roadways, with a \$50.00 minimum. With this assessment the total annual assessment for this drain/this section will be \$500.00.

Parcels assessed for this drain may be assessed for the Collins-Osborn or Williams Creek Drain at sometime in the future.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above-proposed drain that the Board also approve the attached non-enforcement request. This request is for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for Centennial Townhomes Phase II to be recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for October 28, 2002.



Kenton C. Ward
Hamilton County Surveyor

KCW/llm

State of Indiana)
)
County of Hamilton)

TO: HAMILTON COUNTY DRAINAGE BOARD
c/o Hamilton County Surveyor
Courthouse
Noblesville, IN 46060

In the matter of Centennial Townhomes subdivision, Section
Phase 2 Drain petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in Centennial Townhomes Phase 2, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages, and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefitted thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 100% of the Engineers estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain File.

FILED

MAR 05 2002

OFFICE OF HAMILTON COUNTY SURVEYOR

HCDB-2002-00308

SUBDIVISION IMPROVEMENTS PERFORMANCE BOND

Bond No. 887161S

KNOW ALL MEN BY THESE PRESENTS:

That we, Estridge Development Company, Inc., as Principal, and Developers Surety and Indemnity Company, a Corporation organized and doing business under and by virtue of the laws of the State of Iowa and duly licensed to conduct a general surety business in the State of Indiana, as Surety, are held and firmly bound unto Hamilton County Board of Commissioners as Obligee in the sum of Fifty-Six Thousand Two Hundred and No/100ths (\$56,200.00) Dollars for which payment, well and truly to be made, we bind ourselves, our heirs, executors and successors, jointly and severally firmly by these presents.

Whereas, Principal is the owner and developer of real property described as Centennial Townhomes, Section II

Whereas, Principal, has, as a condition to approval of the plat for the real property, agreed to construct certain land improvements, consisting of Storm Sewer & Subsurface Drains, as specified in the plans and specifications prepared by;

Whereas, Principal is required to provide security for the faithful performance of such improvements.

NOW THEREFORE, the condition of this obligation is such that so long as Principal shall well and truly perform the conditions for plat approval, and delivers them, in good and workmanlike condition, within the time specified in such conditions, or any extension thereof, granted by Obligee, with or without notice to Surety, then this obligation shall be void, otherwise to remain in full force and effect, subject further to the following terms and conditions:

- 1. The obligation of surety shall, in no event, exceed the penal sum hereof.
2. In the event of litigation between Obligee, Surety and Principal, arising out of any breach, or to enforce any right or obligation hereby created, the prevailing party shall be entitled to the recovery of costs and reasonable attorneys fees.
3. This bond shall remain in full force and effect until release by the Obligee, provided further that the penal sum hereof may be reduced upon resolution of Obligee.
4. Neither this bond, nor any right or obligation hereunder may be assigned, conveyed or hypothecated except upon the express, written, consent of Surety and Principal.

WITNESSETH my hand and seal this 13th day of March, 20 02.

Estridge Development Company, Inc. Principal

Developers Surety and Indemnity Company Surety

BY: [Signature]
Title: Director of Land Development

BY: Cynthia L. Jenkins
Attorney-in-Fact

BOARD OF COMMISSIONERS OF THE COUNTY OF HAMILTON

RELEASE OF MAINTENANCE/PERFORMANCE BOND
RELEASE OF LETTER OF CREDIT

HAMILTON COUNTY BOARD OF COMMISSIONERS

[Signatures]
DATE: 3/12/02

BY: [Signatures]

ATTEST: Robin M. Mills
HAMILTON COUNTY AUDITOR

ATTEST: Robin M. Mills
HAMILTON COUNTY AUDITOR

HCDB 2002-00309

SUBDIVISION IMPROVEMENTS PERFORMANCE BOND

Bond No. 887162S

KNOW ALL MEN BY THESE PRESENTS:

That we, Estridge Development Company, Inc., as Principal, and Developers Surety and Indemnity Company, a Corporation organized and doing business under and by virtue of the laws of the State of Iowa and duly licensed to conduct a general surety business in the State of Indiana, as Surety, are held and firmly bound unto Hamilton County Board of Commissioners as Obligee in the sum of Six Thousand Four Hundred Eighty-Five and No/100ths (\$ 6,485.00) Dollars for which payment, well and truly to be made, we bind ourselves, our heirs, executors and successors, jointly and severally firmly by these presents.

Whereas, Principal is the owner and developer of real property described as Centennial Townhomes, Section II

Whereas, Principal, has, as a condition to approval of the plat for the real property, agreed to construct certain land improvements, consisting of Erosion Control, as specified in the plans and specifications prepared by _____; and

Whereas, Principal is required to provide security for the faithful performance of such improvements.

NOW THEREFORE, the condition of this obligation is such that so long as Principal shall well and truly perform the conditions for plat approval, and delivers them, in good and workmanlike condition, within the time specified in such conditions, or any extension thereof, granted by Obligee, with or without notice to Surety, then this obligation shall be void, otherwise to remain in full force and effect, subject further to the following terms and conditions:

1. The obligation of surety shall, in no event, exceed the penal sum hereof.
2. In the event of litigation between Obligee, Surety and Principal, arising out of any breach, or to enforce any right or obligation hereby created, the prevailing party shall be entitled to the recovery of costs and reasonable attorneys fees.
3. This bond shall remain in full force and effect until release by the Obligee, provided further that the penal sum hereof may be reduced upon resolution of Obligee.
4. Neither this bond, nor any right or obligation hereunder may be assigned, conveyed or hypothecated except upon the express, written, consent of Surety and Principal.

WITNESSETH my hand and seal this 13th day of March, 20 02.

ATTEST:
HAMILTON COUNTY AUDITOR

Estridge Development Company, Inc.
Principal

BY: [Signature]
Title: Director of Land Development

Developers Surety and Indemnity Company
Surety
BY: [Signature]
Cynthia L. Jenkins
Attorney-in-Fact

BOARD OF COMMISSIONERS OF THE COUNTY OF HAMILTON
[Signature]
[Signature]
SIP0300
DATE 9/2/02

Rabin M. Mills
Attest
[Signature]

Copy

OFFICE OF

HAMILTON COUNTY DRAINAGE BOARD

Notice of Hearing to Establish Annual Assessments For the Periodic Maintenance of The Centennial Drain, Section 1, Townhome Phase II

CEC Associates LLC
1041 W. Main St.
Carmel, IN 46032

You are hereby notified that the maintenance report of the County Surveyor and the schedule of assessments made by the Drainage Board have been filed and are available for public inspection in the office of the County Surveyor.

The Surveyor has estimated that the annual cost of periodically maintaining the drain is \$500.00 and that the schedule shows you are the owner of the following lands:

Tax Number	Description	Acres Benefited	Maintenance Assessment	% of annual Assessment
08-09-15-02-01-201.000	S15 T18 R3 6.30 Ac	To be parcel 14 - 24	To be \$50 per unit	
08-09-15-02-09-001—005	Parcel 12 Unit 1 - 5	Five Units	\$250.00	50.00%
08-09-15-02-10-001—005	Parcel 11 Unit 1 - 5	Five Units	\$250.00	50.00%

A hearing will be held by the Drainage Board in Commissioner's Court at 9:05 A.M. on October 28, 2002, on the Surveyor's maintenance report and the schedule of assessments. The law requires that objections must be written and filed not less than five (5) days before the above hearing on the ground that benefits assessed are excessive. Written evidence in support of objections may also be filed. The failure of any owner to file an objection constitutes a waiver of his right to thereafter object on such ground to any final action of the Board. On or before the hearing date the Surveyor or any owner of lands named in the schedule of assessments may cause written evidence to be filed in support of or in rebuttal to any objection filed.

HAMILTON COUNTY DRAINAGE BOARD

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF
Centennial Drain, Townhomes Phase 2

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Centennial Drain, Townhomes Phase 2** on **October 28th**, at **9:05** A.M. in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE
Centennial Drain, Townhomes Phase 2

NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

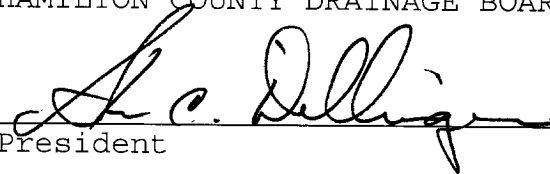
ONE TIME ONLY

FINDINGS AND ORDER
CONCERNING THE MAINTENANCE OF THE
Centennial Drain, Townhomes Phase II


On this *28th day of October 2002*, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Centennial Drain, Townhomes Phase II*.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD



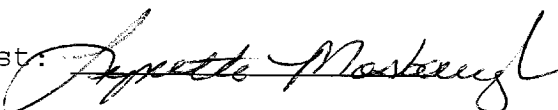
President



Member

Member

Attest:



CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: CENTENNIAL TOWNHOMES, PHASE II

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana .
2. I am familiar with the plans and specifications for the above referenced subdivision .
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision .
4. The drainage facilities within the above referenced subdivision to the best of my knowledge , information and belief have been installed and completed in conformity with all plans and specifications .

FILED

AUG 20 2002

OFFICE OF HAMILTON COUNTY SURVEYOR

Signature: J. Cort Crosby Date: 8/17/02

Type or Print Name: J. CORT CROSBY, P.E.

Business Address: SCHNEIDER CORPORATION
8901 OTIS AVE., INDIANAPOLIS, IN 46216

Telephone Number: (317) 826-7306

SEAL



INDIANA REGISTRATION NUMBER

920350

Revised 10/95



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 188

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

October 30, 2003

**Re: Centennial Drain: Centennial Townhomes
Phase 2**

Attached are as-builts, certificate of completion & compliance, and other information for Centennial Townhomes. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated August 21, 2002. The report was approved by the Board at the hearing held October 28, 2002. (See Drainage Board Minutes Book 6, Pages 465-466) The changes are as follows:

Structure:	T.C.:	I.E.:	Pipe:	Length:	Grade:	Original (ft):	Diff. (ft):
425	908.7	905.98					
E424	908.53	904.13	12	101	1.77	100	1
Stub		906.34					
409	910.01	905.89	15	26	1.5	22	4
409	910.01	905.63					
406	909.63	904.93	18	153	0.46	154	-1
Stub		905.47					
406	909.63	905.03	12	42		40	2
406	909.63	904.73					
405	909.64	904.43	24	112	0.27		
405	909.64	904.43					
404	909.6	904.12	24	112	0.28		
404	909.6	904.12					
403	909.32	903.77	24	112	0.32		
403	909.32	903.6					
402	908.96	903.44	30	91	0.18	90	1
402	908.96	903.44					
401	908.27	903.29	30	165	0.09	169	-4
401	908.27	903.29					
400		902.98	30	26	1.19	32	-6

Asbuilt Structures

Drain: Centennial # 317
Improvement-Arm: Centennial Townhomes Phase II
Engineer: Schneider
Asbuilt Project #: 753.01

Structure:	T.C.:	I.E.:	Pipe:	Length:	Grade:	Original:	Difference:
425	908.7	905.98					
E424	908.53	904.13	12	101	1.77	100	1
Stub		906.34					
409	910.01	905.89	15	26	1.5	22	4
409	910.01	905.63					
406	909.63	904.93	18	153	0.46	154	-1
Stub		905.47					
406	909.63	905.03	12	42		40	2
406	909.63	904.73					
405	909.64	904.43	24	112	0.27		
405	909.64	904.43					
404	909.6	904.12	24	112	0.28		
404	909.6	904.12					
403	909.32	903.77	24	112	0.32		
403	909.32	903.6					
402	908.96	903.44	30	91	0.18	90	1
402	908.96	903.44					
401	908.27	903.29	30	165	0.09	169	-4
401	908.27	903.29					
400		902.98	30	26	1.19	32	-6

RCP Pipe Totals:

12	143
15	26
18	153
24	336
30	282
Total:	940

Other Drain:	

Total: _____

Drain Total: 940

RCP Totals:

12	143
15	26
18	153
24	336
30	282

The length of the drain due to the changes described above is now **940 feet**.

The non-enforcement was approved by the Board at its meeting on October 28, 2002 and recorded under instrument #200300093804.

The following sureties were guaranteed by Developers Surety & Indemnity Co. and released by the Board on its January 13, 2003 meeting.

Bond-LC No: 887161S
Insured For: Storm Sewers & SSD
Amount: \$56,200
Issue Date: 3/13/2002

Bond-LC No: 887162S
Insured For: Erosion ontrol
Amount: \$6,485
Issue Date: 3/13/2002

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward,
Hamilton County Surveyor

KCW/slm

CENTENNIAL TOWNHOMES PHASE II

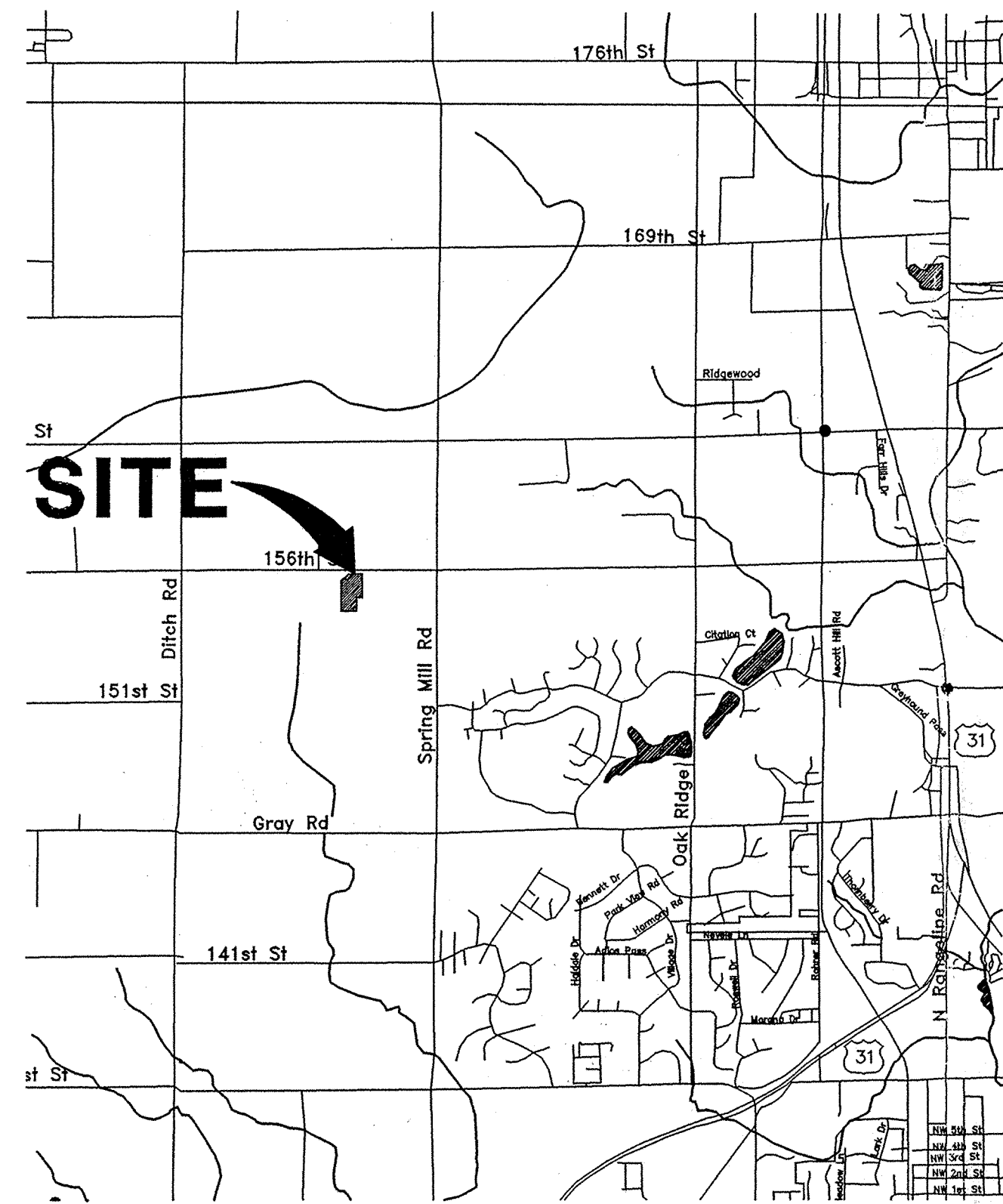
(CONSTRUCTION PLANS)

HAMILTON COUNTY WESTFIELD, INDIANA

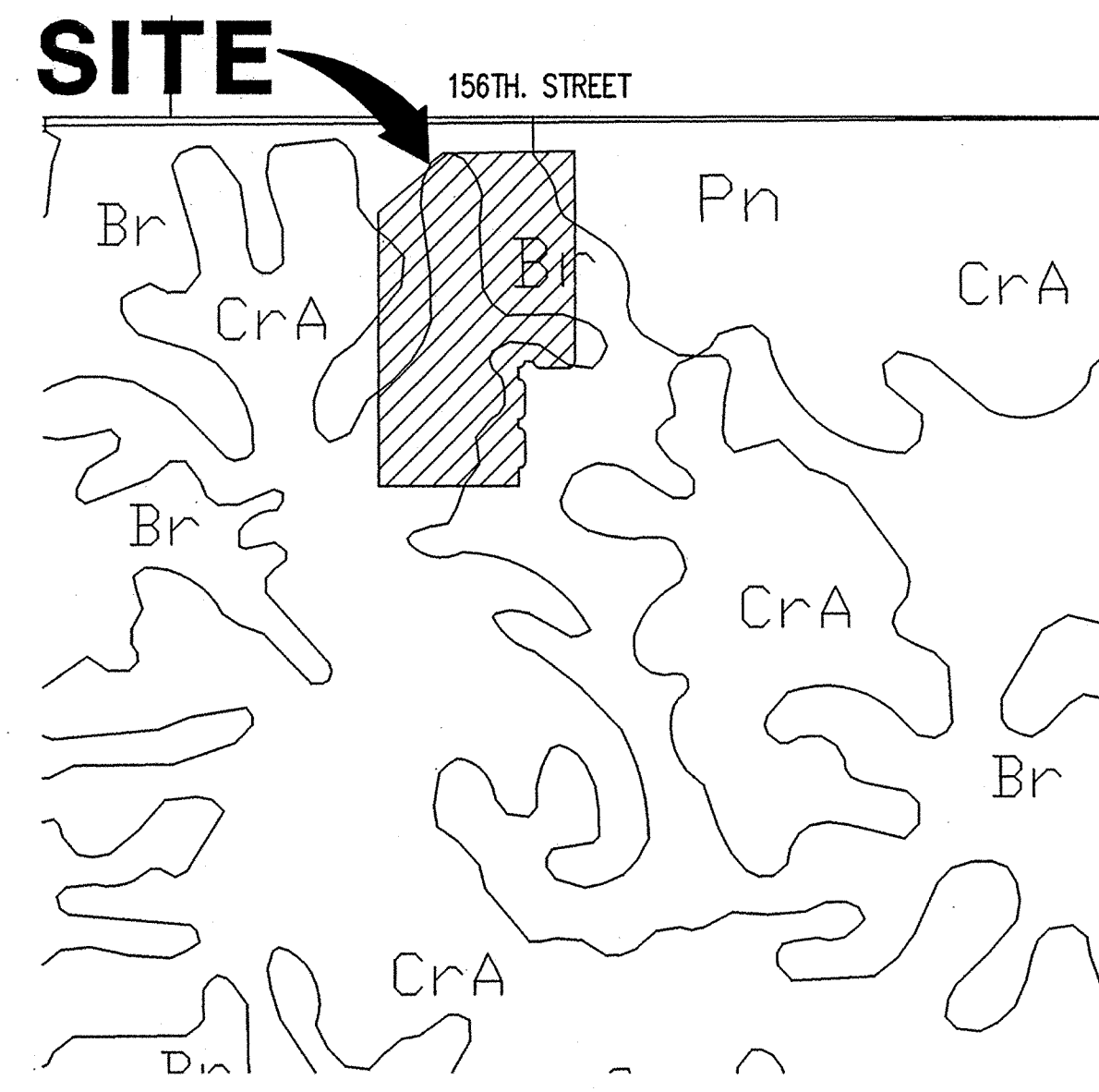
DEVELOPER:

ESTRIDGE DEVELOPMENT CO., INC.

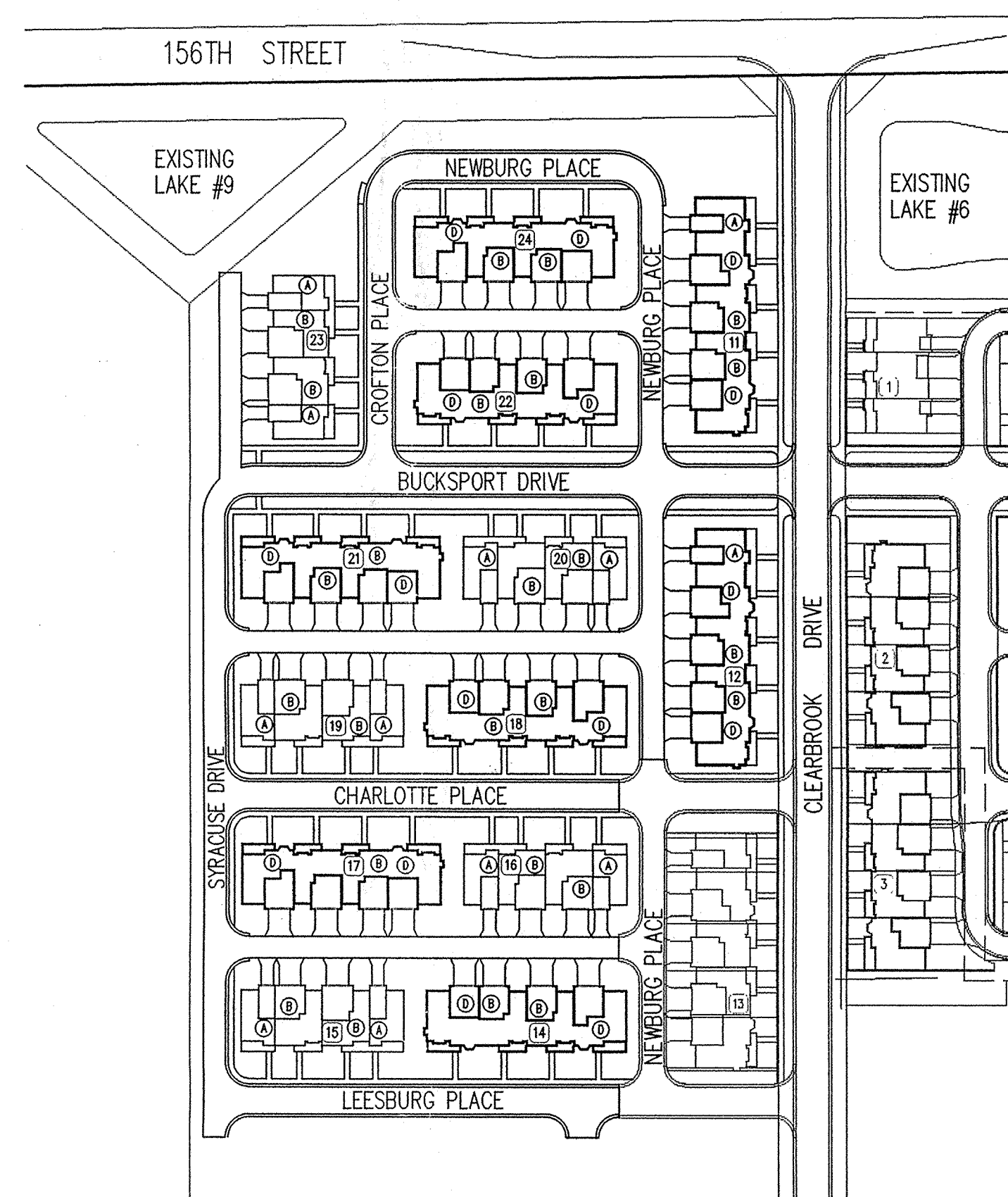
1041 WEST MAIN STREET
CARMEL, INDIANA 46032
(317) 582-2456



AREA MAP
NOT TO SCALE

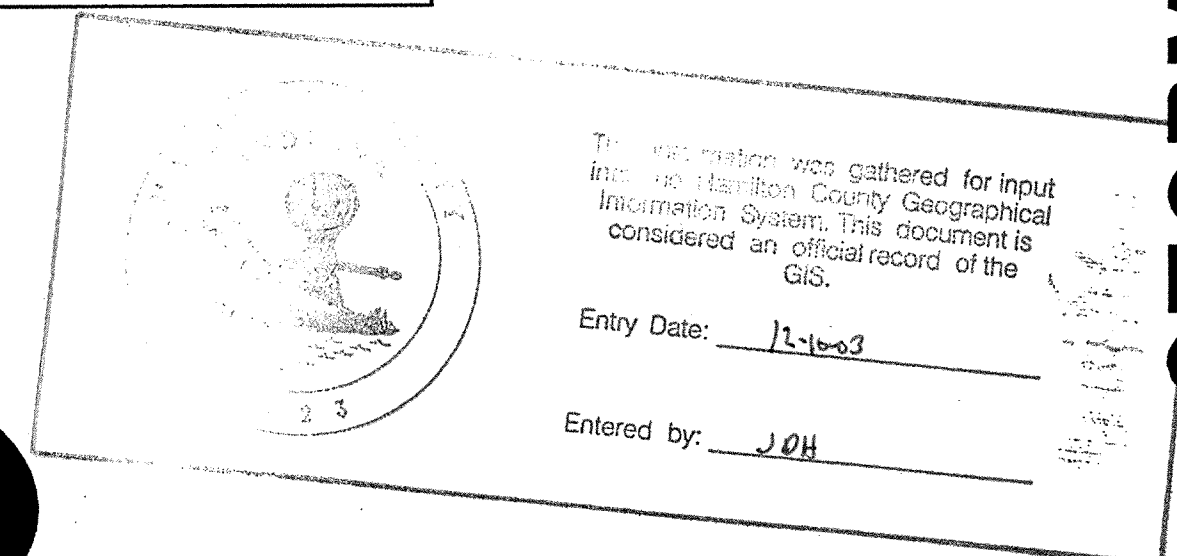


SOILS MAP
NOT TO SCALE



SITE MAP
SCALE: 1"=100'

INDEX	
SHEET No.	DESCRIPTION
C100	COVER SHEET
C101, C102	SITE PLAN
C103, C104	DEVELOPMENT PLAN
C105, C106	EROSION CONTROL PLAN
C107	EROSION CONTROL DETAILS
C401	SANITARY SEWER PLAN
C601	STORM SEWER PLAN
C701, C702	WATER DISTRIBUTION PLAN
C703	WATER DISTRIBUTION DETAILS
C801, C802	GENERAL DETAILS
C901	SPECIFICATIONS



**STORM SEWER
RECORD DRAWING**

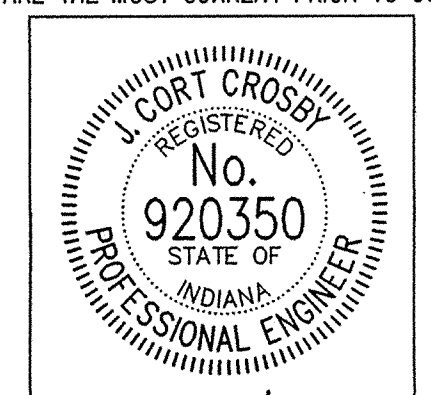


Historic Fort Harrison
8901 Otis Avenue
Indianapolis, Indiana
46216-1037
317-826-7100
317-826-7200 Fax
www.schneidercorp.com

Architecture
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GIS * LIS
Home Builder Services
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Land Surveying
Landscape Architecture
Transportation Engineering

FILED
AUG 20 2002
OFFICE OF HAMILTON COUNTY SURVEYOR

THESE DOCUMENTS ARE SUBJECT TO PERIODIC REVISIONS BY THE SCHNEIDER CORPORATION. THE HOLDER IS RESPONSIBLE FOR VERIFYING THAT THESE DOCUMENTS ARE THE MOST CURRENT PRIOR TO USE.

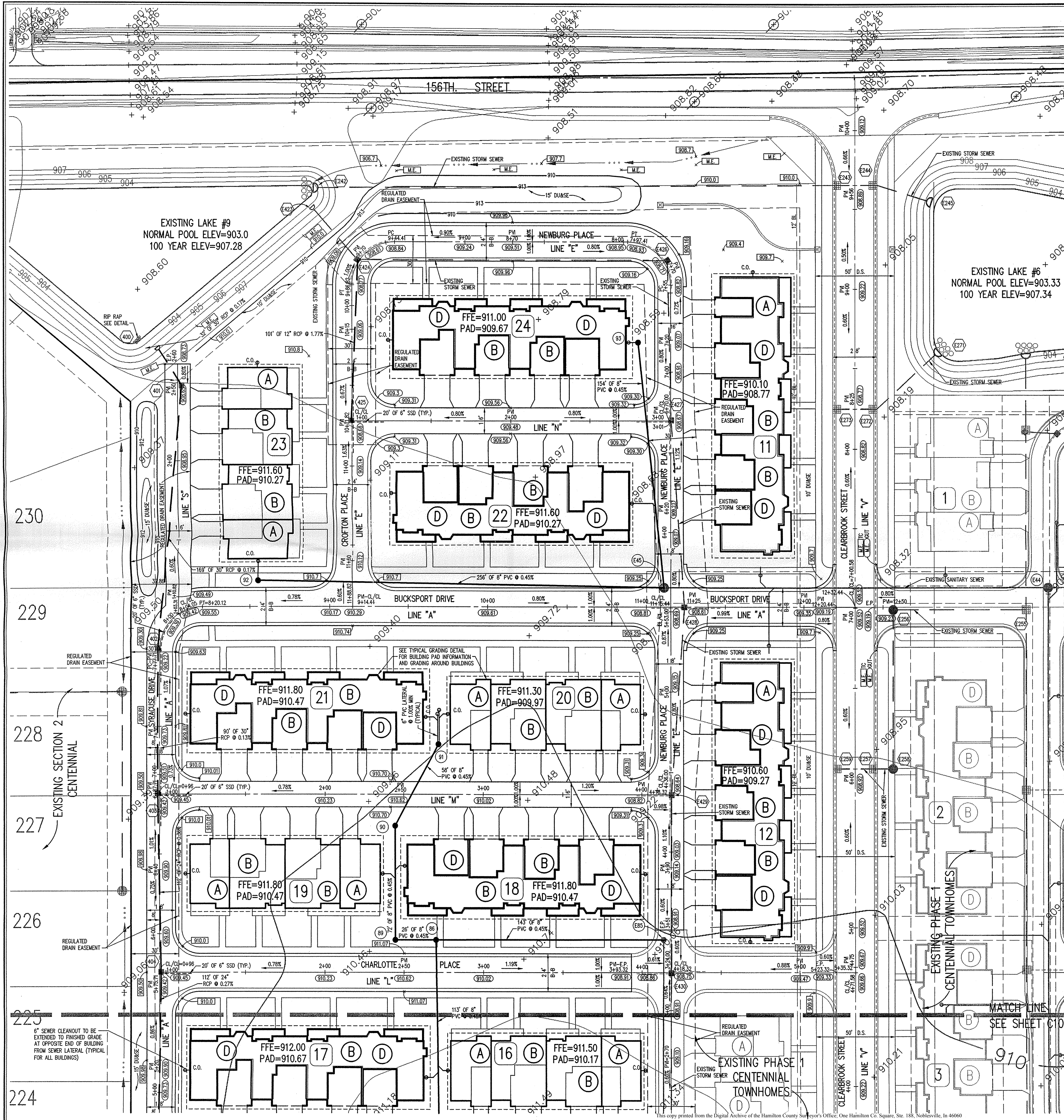


DATE: 8/15/02

REVISIONS	DATE	BY	DESCRIPTION
	05/22/01	PRC	C100 & C801
	12/22/01	PRC	REVISED ALL SHEETS EXCEPT: C703 & C801

CERTIFIED BY: J. CORT CROSBY, P.E.
E-MAIL ADDRESS: ccrosby@schneidercorp.com

PROJECT ENGINEER: _____
CHECKED BY: _____ DATE CHECKED: _____



LEGEND

- Existing Storm Sewer
- New Storm Sewer
- Existing Sanitary Sewer
- New Sanitary Sewer
- Subsurface Drain
- Existing Contour
- Existing Elevation
- New Pavement Elevations
- All Other Finish Elevations
- ⊙ Storm Structure Number
- ⊙ Sanitary Structure Number
- Meet Existing Elevation
- ⊙ Stop Sign
- etc Electric, Telephone, Cable TV

HOLEY MOLEY SAYS "DON'T DIG BLIND"

"IT'S THE LAW"
CALL 2 WORKING DAYS BEFORE YOU DIG
1-800-382-5544
CALL TOLL FREE
PER INDIANA STATE LAW IS-69-1991. IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

ASSUMED NORTH
SCALE: 1"=30'

BENCHMARK

BM - U.S.G.S. 93 RHP (1951)
BRASS DISK IN CONCRETE POST S.W. CORNER OF 146TH AND DITCH ROAD.
ELEV. = 903.373

TBM #9
R.R. SPIKE 1.3' UP NORTH SIDE OF MAPLE; S.E. CORNER SITE.
ELEV. = 908.39

NOTE:
FOR STRUCTURE DATA TABLES
INFORMATION SEE SHEET C104.

UTILITIES - WESTFIELD

GAS
Indiana Gas Company
505 West Cr. 125 S.
Lebanon, Indiana 46052
(317) 482-6456
Attn: Jeff Aubry
TELEPHONE

Phone, Cable TV, Internet
E.COM
750 Liberty Drive
Westfield, Indiana 46074

SANITARY SEWERS AND WATER
HAMILTON WESTERN UTILITIES

1350 Grayhound Pass
Carmel, Indiana 46032
(317) 846-6882
Attn: Beau Wilfong
ELECTRIC

P. S. I. Energy
P.O. Box 878
Carmel, Indiana 46032
(317) 581-3041
Attn: Mark La Barr

Utility Hotline: within Indiana 1-800-382-5544
outside Indiana 1-800-428-5200

This information was gathered for input into the GIS. County Geographical Information System (GIS) is considered an official record of the GIS.

Entry Date: 12-20-02
Entered by: [Signature]

SPECIAL STREET AND CURB GRADING NOTES

1. ALL CURBS ARE ROLL CURB WITH REVERSE SLOPES THAT DRAIN ONTO STREET WITH INVERTED CROWN.
2. SEE SHEET C802 FOR TYPICAL STREET CROSS-SECTIONS.
3. SEE SHEET C802 FOR TYPICAL GRADING AROUND INDIVIDUAL BUILDINGS.

GENERAL NOTES

1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
2. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO HIS PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN FIELD BEFORE WORK IS STARTED OR RESUMED.
3. STANDARD SPECIFICATIONS FOR THE HAMILTON WESTERN UTILITIES SHALL APPLY FOR ALL SANITARY SEWERS.
4. ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
5. THE SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE PER INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY COMPANIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION FOR FIELD LOCATION OF SERVICES.
6. SERVICE WALKS SHALL BE NON-REINFORCED CONCRETE 4" THICK AND 4' IN WIDTH.
7. EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTION AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS. CONTRACTION JOINTS AND PERPENDICULAR SIDEWALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
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10. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.

STORM SEWER RECORD DRAWING

REVISIONS:
1. DEP 12/20/02 REVISED BUILDING FOOTPRINTS, CURB & WALK LOCATIONS, SOME STREET WIDTHS, UTILITIES.
2. DEP 08/09/02 STORM SEWER RECORD DRAWING.

L. J. CROSS
REGISTERED
No. 920350
STATE OF INDIANA
PROFESSIONAL ENGINEER

DATE: 8/15/02

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Landscape Architecture
Transportation Engineering

**CENTENNIAL TOWNHOMES
PHASE II**
WESTFIELD, INDIANA

ESTRIDGE DEVELOPMENT CO., INC.
CARMEL, INDIANA

DATE: 03/14/01 PROJECT NO.: 753.010
DRAWN BY: PRC CHECKED BY:
SHEET TITLE: DEVELOPMENT PLAN
DRAWING FILES:
R:\753\010\DWG\C103
XREF: 01085
XREF: R:\753\000\DWG\0085
XREF: R:\753\011\DWG\0185
XREF: R:\753\008\DWG\0088, SH06080
XREF: R:\753\007\DWG\0075
XREF: R:\753\001\DWG\0005, 7530TP0
XREF: R:\753\002\DWG\00285
SHEET NO.:

C103

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⑩ SANITARY SEWER TABLE

STR #	STA BASELINE	OFFSET	LT/RT	TYPE	TC	INVERTS
E45	-----	-----	-----	EXISTING MANHOLE	908.81	901.92 (N), 901.82 (W), EX. 901.72 (E)
E85	-----	-----	-----	EXISTING MANHOLE	909.26	901.31 (N), EX. 901.11 (S)
86	2+70.23 "L"	20.61'	LT	MANHOLE	902.16	902.06 (N), 901.96 (E)
87	2+71.83 "K"	19.75'	LT	MANHOLE	911.42	902.66 (SW), 902.66 (N)
88	2+44.50 "K"	31.50'	RT	MANHOLE	911.40	903.02 (NE)
89	2+44.50 "L"	20.62'	LT	MANHOLE	911.40	902.38 (N), 902.18 (E)
90	2+44.50 "M"	19.75'	RT	MANHOLE	911.40	902.80 (NE), 902.70 (S)
91	2+71.83 "M"	31.50'	LT	MANHOLE	911.40	903.06 (SW)
92	8+55.32 "A"	16.48'	LT	MANHOLE	910.40	902.97 (E)
93	7+18.57 "E"	20.50'	LT	MANHOLE	909.80	902.61 (S)

* ADJUST CASTING TO FINISHED PAVEMENT GRADE 908.92±

⑪ STORM SEWER TABLE

STR #	STA BASELINE	OFF	LT/RT	TYPE	TC	INVERTS
E424	-----	-----	-----	EXISTING PAVED AREA INLET	908.61	904.21 (S), EX. 903.21 (E), EX. 903.11 (NW)
400	10+24.40 "T"	132.33'	RT	END SECTION	903.00	
401	2+50.00 "T"	0.00'	RT	PAVED AREA INLET	908.65	903.05 (SANW)
402	7+00.00 "T"	0.00'	RT	PAVED AREA INLET	909.22	903.34 (NAS)
403	6+19.00 "T"	0.00'	RT	PAVED AREA INLET	909.42	903.66 (S), 903.46 (N)
404	5+75.71 "T"	0.00'	RT	PAVED AREA INLET	909.42	904.06 (SAN)
405	4+63.70 "T"	0.00'	RT	PAVED AREA INLET	909.42	904.36 (SAN)
406	3+00.00 "T"	0.00'	RT	PAVED AREA INLET	909.61	905.23 (SE), 905.00 (E), 904.60 (N)
409	2+50.00 "T"	0.00'	RT	PAVED AREA INLET	910.01	906.01 (SE), 905.80 (W)
425	10+71.82 "E"	0.00'	RT	PAVED AREA INLET	908.68	906.00 (N)

NOT APPLICABLE SEE PROFILE SHEETS

SPECIAL STREET AND CURB GRADING NOTES.

1. ALL CURBS ARE ROLL CURB WITH REVERSE SLOPES THAT DRAIN ONTO STREET WITH INVERTED CROWN.
2. SEE STREET C802 FOR TYPICAL STREET CROSS-SECTIONS.
3. SEE SHEET C802 FOR TYPICAL GRADING AROUND INDIVIDUAL BUILDINGS.

LEGEND

- Existing Storm Sewer
- New Storm Sewer
- Existing Sanitary Sewer
- New Sanitary Sewer
- Subsurface Drain
- Existing Contour
- Existing Elevation
- New Pavement Elevations
- All Other Finish Elevations
- ⊙ Storm Structure Number
- ⊙ Sanitary Structure Number
- Meet Existing Elevation
- Stop Sign
- etc Electric, Telephone, Cable TV

HOLEY MOLEY SAYS "DON'T DIG BLIND"



"IT'S THE LAW" CALL 2 WORKING DAYS BEFORE YOU DIG 1-800-382-5544

PER INDIANA STATE LAW IS-69-1991, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

ASSUMED NORTH SCALE: 1"=30'

BENCHMARK

BM - U.S.G.S. 93 RHP (1951)
BRASS DISK IN CONCRETE POST S.W. CORNER OF 146TH AND DITCH ROAD
ELEV. = 903.373

TBM #9
R.R. SPIKE 1.3' UP NORTH SIDE OF MAPLE S.E. CORNER SITE.
ELEV. = 908.39

UTILITIES - WESTFIELD

GAS
Indiana Gas Company
505 West Cr. 125 S.
Lebanon, Indiana 46052
(317) 482-6456
Attn: Jeff Autry
TELEPHONE

Phone, Cable TV, Internet
E.COM
750 Liberty Drive
Westfield, Indiana 46074

SANITARY SEWERS AND WATER
HAMILTON WESTERN UTILITIES

1350 Grayhound Pass
Carmel, Indiana 46032
(317) 848-6882
Attn: Beau Wilfong
ELECTRIC

P. S. I. Energy
P.O. Box 876
Carmel, Indiana 46032
(317) 581-3041
Attn: Mark La Barr

Utility Hotline: within Indiana 1-800-382-5544
outside Indiana 1-800-428-5200

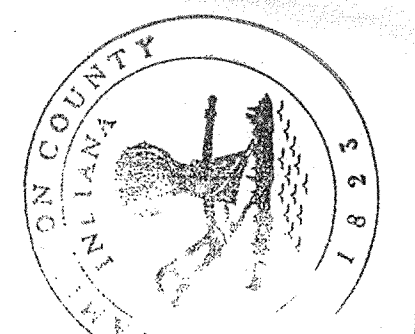
NOTE
The size and location of utilities are per plans and locations provided by the respective utility companies. All utility companies shall be notified prior to any excavation for field location of services.

GENERAL NOTES

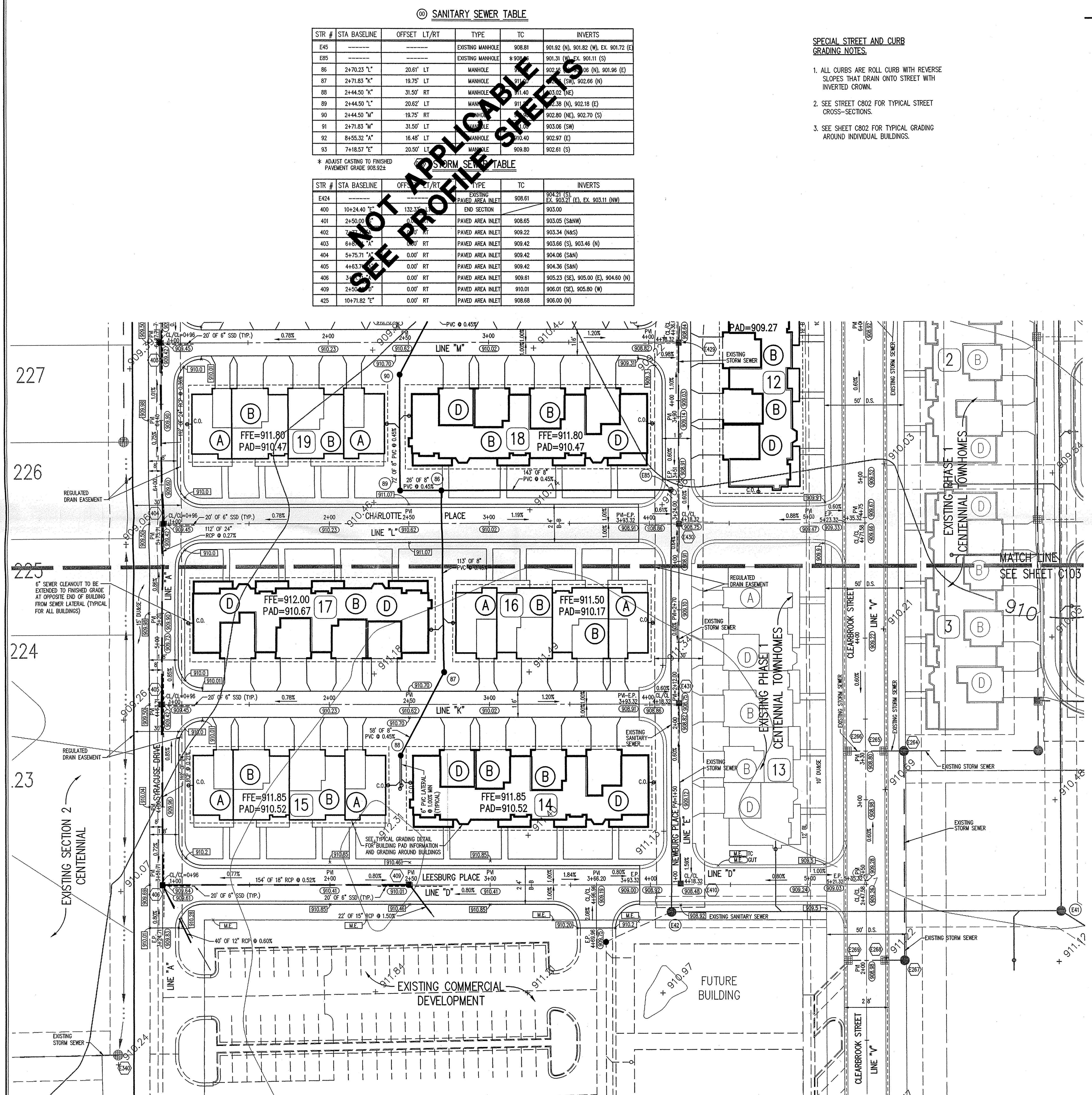
1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
2. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO HIS PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN FIELD BEFORE WORK IS STARTED OR RESUMED.
3. STANDARD SPECIFICATIONS FOR THE HAMILTON WESTERN UTILITIES SHALL APPLY FOR ALL SANITARY SEWERS.
4. ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
5. THE SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE PER INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY COMPANIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION FOR FIELD LOCATION OF SERVICES.
6. SERVICE WALKS SHALL BE NON-REINFORCED CONCRETE 4" THICK AND 4' IN WIDTH.
7. EXPANSION JOINTS ARE TO BE PLACED AT ALL WALKS OF INTERSECTION AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS. CONTRACTION JOINTS AND PERPENDICULAR SIDEWALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
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9. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
10. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.

This information is not intended for use into the Hamilton County Information System, Tr. Instruments considered an "Official" record of title.

Entry Date: 7-20-07
Entered by: J.O.H.



STORM SEWER RECORD DRAWING



J. CORT CROSBY REGISTERED No. 920350 STATE OF INDIANA PROFESSIONAL ENGINEER

DATE: 8/15/07

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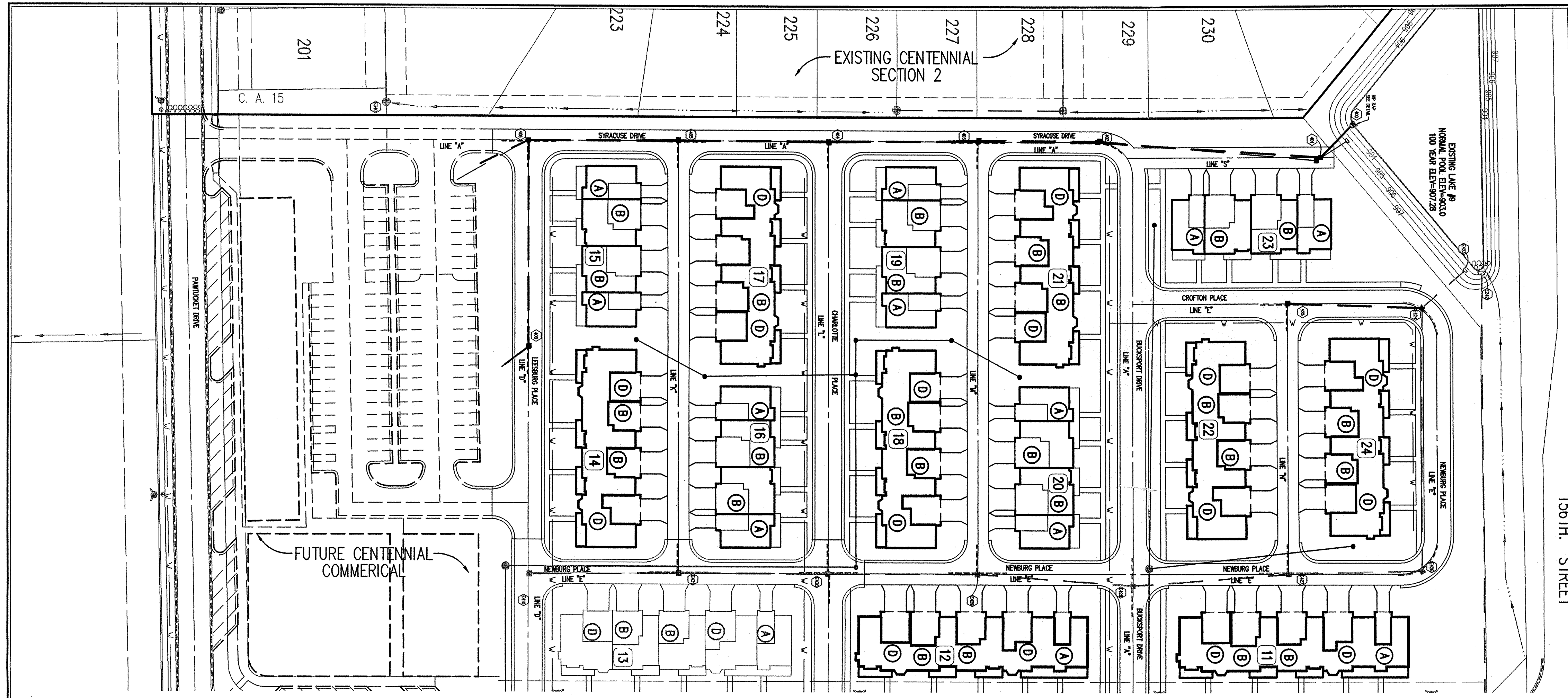
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CENTENNIAL TOWNHOMES
PHASE II
WESTFIELD, INDIANA

ESTRIDGE DEVELOPMENT CO., INC.
CARMEL, INDIANA

DATE: 03/14/01 PROJECT NO.: 753.010
DRAWN BY: PRC CHECKED BY:
SHEET TITLE: DEVELOPMENT PLAN
DRAWING FILES:
R:\753\010\DWG\C104
REF: R:\753\009\DWG\009B5
REF: R:\753\011\DWG\011B5
REF: R:\753\008\DWG\008B5, 9060800
REF: R:\753\007\DWG\007B5
REF: R:\753\001\DWG\001B5, 75310P0
REF: R:\753\002\DWG\002B5
SHEET NO.:
C104



HOLEY MOLEY SAYS
"DON'T DIG BLIND"

"IT'S THE LAW"
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 CALL TOLL FREE
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 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
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 4. CONTRACTORS SHALL MINIMIZE DAMAGE TO EXISTING TREES.

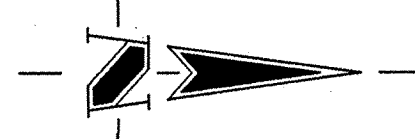
CERTIFICATION FOR "RECORD DRAWING"

NOTE:
 Record drawing certification for top of casing, invert elevations, and lengths of pipe only. Slope percentage represents a calculated figure and is for general information only.

BENCHMARK

BM - U.S.G.S. 93 RHP (1951)
 BRASS DISK IN CONCRETE POST S.W. CORNER OF 146TH AND DITCH ROAD.
 ELEV. = 903.373

TEM #9
 R.R. SPIKE 1.3' UP NORTH SIDE OF MAPLE± S.E. CORNER SITE.
 ELEV. = 908.39



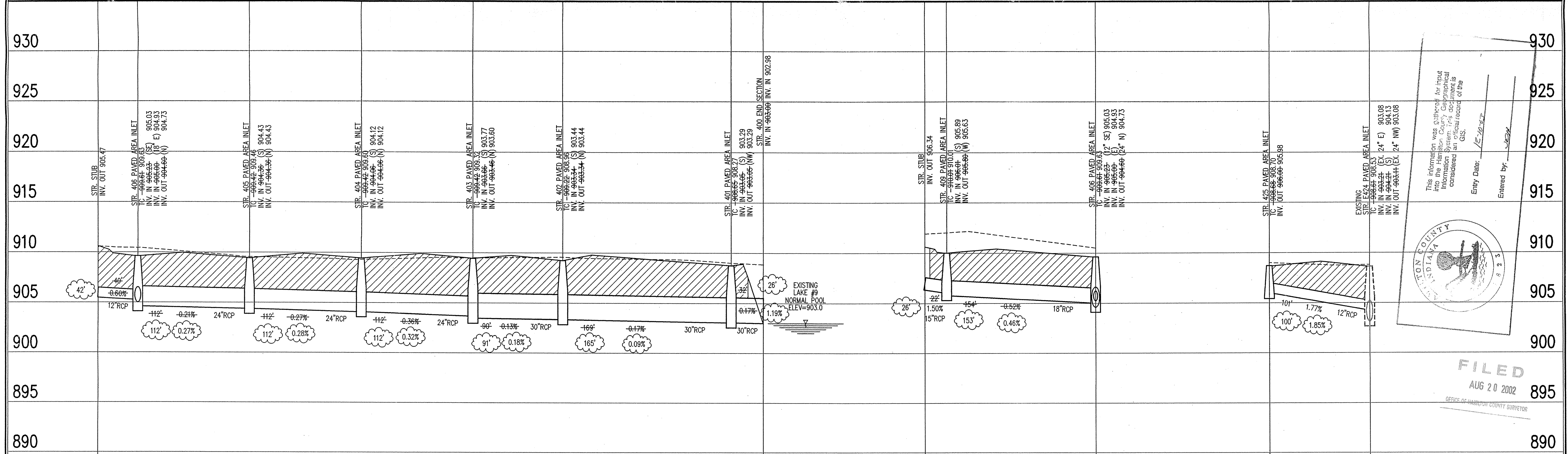
LEGEND/DETAILS

Sheet	Sheet Number	Description
C801	6	Bedding Detail - Reinforced Concrete Pipe (RCP)
C801	5	Paved Area Inlet Detail
C801		Beehive Inlet Detail
C801		Storm Manhole Detail
C801	13	Precast Concrete End Section
C802	5	RipRap Detail @ End Section

NOTE

STORM SEWER PLAN

SCALE: 1"=50'



STORM SEWER RECORD DRAWING

STORM SEWER PROFILE

LEGEND

	Existing Grade
	New Grade
	Granular Backfill

SCALE: HORZ.: 1"=50'
 VERT.: 1"=5'

REVISIONS:
 1. RHP 03/14/01 STORM SEWER RECORD DRAWING

J. COIT CROSS
 REGISTERED
 No. **920350**
 STATE OF INDIANA
PROFESSIONAL ENGINEER

DATE: 8/15/02

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 Transportation Engineering

**CENTENNIAL TOWNHOMES
 PHASE II**
 WESTFIELD, INDIANA

ESTRIDGE DEVELOPMENT CO., INC.
 CARMEL, INDIANA

DATE: 03/14/01 PROJECT NO.: 753.010
 DRAWN BY: DRP CHECKED BY:
 SHEET TITLE: STORM SEWER PLAN

DRAWING FILES:
 R: 753\010\DWG\C601
 XREF: R: 753\010\DWG\STORM
 XREF: R: 753\010\DWG\010B5
 XREF: R: 753\010\DWG\010B5
 XREF: R: 753\002\DWG\002B5
 XREF: R: 753\007\DWG\007B5
 XREF: R: 753\008\DWG\008B5
 XREF: R: 753\009\DWG\009B5

SHEET NO.: **C601**